



Premium Property

— REPORT —

45 SAMPLE STREET BRACKEN RIDGE



REPORTS PROVIDED

Building Report	<input checked="" type="checkbox"/>	On Site Design Advice	<input type="checkbox"/>	Building Approvals	<input type="checkbox"/>	Town Planning Report	<input type="checkbox"/>
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INSPECTOR DETAILS

Name:	Markus Pye	Phone:	0434631555	Email:	markus@shelterarchitectsplanners.com.au
Architect's Registration No:	3165	BSA license No:	71249		

CLIENT DETAILS

Name:	Mr & Mrs SAMPLE	Phone:	SAMPLE
Address:	SAMPLE	Email:	SAMPLE

PROPERTY DETAILS – 26 Sample 2013

Roof finish	Metal tile	Storeys	Single	Vegetation	Moderate
Superstructure	Brick Veneer	Site	Gentle Slope	Aspect	Westerly
Substructure	Concrete Strip	Age	40 years Ext' is 23	Occupied	Occupied
Floor structure	Concrete Slab	Additions	Yes	Weather	Fine

EXECUTIVE SUMMARY

THIS RESIDENCE IS CONSIDERED WELL BELOW PAR FOR ITS TYPE, ITS VINTAGE AND ITS ENVIRONMENTAL CONTEXT. THIS TYPE OF RESIDENCE CAN OFTEN BE FOUND IN GENERALLY SOUND CONDITION, THIS PROPERTY IS NOT CONSIDERED AS SUCH. MANY OF 'THIS' TYPE ARE ROBUST IN THEIR MATERIALS CHOICE, CONSTRUCTION TYPE AND GENERAL HARDWEARING QUALITIES, HOWEVER MANY CAN SUFFER EXTENSIVE DETERIORATION OR DAMAGE SUCH AS APPEARS IN THIS HOME. THESE ISSUES RANGE FROM UNSCOPED TERMITE DAMAGE, THROUGH NOTICABLE STRUCTURE MOVEMENT CAUSING BRICK CRACKING AND SETTLEMENT, THROUGH TO THE POOR DRAINAGE CONTRIBUTING TO THE FOREMENTIONED ITEMS, AND INCLUDES HEAVY LOCALISED FRETTING TO BRICKWORK. IN SHORT THE BUILDING/GROUNDS ARE NOT CONSIDERED TO BE IN A GENERALLY STABLE CONDITION AND RECOMMEND REPAIRS AND RECTIFICATION. IF WISHING TO PROCEED, IT IS RECOMMENDED THAT 3 SPECIALIST INSPECTIONS BE CARRIED OUT IN ORDER OF PRIORITY:

1. INVASIVE INSPECTION TO DETERMINE THE EXTENT OF TERMITE INFESTATION;
2. INTERNAL SLAB 'LEVEL' VARIANCE- DETERMINE IF SLAB IS 'HEAVING' DUE TO HEAVY GROUND MOISTURE;
3. ROOF DRAINAGE INVESTIGATION TO DETERMINE IF 'LEGAL POINT OF DISCHARGE' IS OPERATING.

Information Regarding the Scope of the Inspection and the Report

Client Agreement: This report confirms your instructions to undertake property inspections and report on any significant and obvious structural defects and/or timber pest infestations apparent at the time of the inspection. The following statements outline our observations and opinions in relation to the condition of the dwelling as viewed. It should be noted that this report relates only to that which is readily viewable. No opinion or warranty is made on that which cannot be readily seen. The following notes form an integral part of the report. If there are any items that are not clear or legible or you do not understand, please contact the office for clarification before accepting the property.

Reliance: Shelter will provide a report to the client (named above) for use and reliance for the client only. Any person who relies upon the contents of this report does so acknowledging the pertinent clauses of this report. These define the Scope and Limitations of the inspection and form an integral part of the report. Before you decide to purchase this property you should read and understand all of the information contained herein. It will help explain what is involved in a Property Inspection, the difficulties faced by an inspector and why it is not possible to guarantee that a property is free of defects or has not noted all defects, latent or otherwise. Note: This report should not be relied upon if the contract for sale becomes binding more than 30 days after the date of initial inspection. A re-inspection after this time is considered essential.

The Scope of the Inspection: This report complies with Australian Standard AS 4349.1 - 2007 Inspection of Buildings. Part 1: Pre Purchase Inspections - Residential Buildings & Australian Standard. As the property is not part of a Strata or Company Title - Appendix C of the Standard applies.

The Purpose of the Building Inspection: As described in AS 4349.1 2007 the purpose of the inspection is to *provide advice to a prospective purchaser regarding the condition of the property on the date and at the time of the inspection*. The inspection comprises a visual assessment of the property to identify *major defects* and to form an opinion regarding the general condition of the property at the time of inspection which may include minor defects. Therefore the report is not a guarantee. Where a major defect has been identified the inspector will specify its location and give an opinion as to why it is a major defect. The Inspector will report individually on Major Defects and safety hazards evident and visible on the date and at the time of inspection and collectively comment on minor defects which form a part of property maintenance.

Minor defects are common to most properties and is expected that defects of this type would or may be rectified as part of normal ongoing maintenance. Therefore it is neither intended nor expected that the report will include details of any or all specific minor defects. However a poorly maintained residence may have more numerous and extensive minor defects than a reasonably maintained property that is otherwise similar. For this reason the *Standard* requires that the report include a general assessment of the general incidence of minor defects. It follows that a Purchaser would allocate realistic resources to return the property to a reasonable standard of occupancy. As noted in the *Standard*, an estimate of the cost of rectification of defects including minor, is outside the scope of the inspection and therefore does not form part of this report.

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. Faults or defective construction may have been concealed or covered over. This Report therefore cannot deal with:

- (a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings & floor coverings, or by applied finishes such as render and paint; and
- (b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out; and are therefore excluded from consideration in this Report.

As the Building Inspection was carried out in accordance with AS4349.1-2007, it also cannot purport to be geological as to foundation integrity or soil conditions, engineering as to structural, nor does it cover the full operational condition of electrical, plumbing, gas or motorised appliances. The Building Inspection also did not look for, or report on timber pest activity or potential for timber pest activity. If timber pest damage is found then it will be reported on. The inspector will only report on the damage which is visible to him. For reporting on timber pest activity, a Timber Pest Report carried out in accordance with AS4349.3-2010 is advised.

Exclusions: The Client acknowledges Property Inspection Report does not cover or deal with:

- (a) all minor fault or defect, i.e. a matter, in view of the age, type and condition of the building being inspected, does not require substantial repairs or urgent attention and rectification;
- (b) solving or providing costs for any rectification or repair work;
- (c) the structural design or adequacy of any element of construction;
- (d) the operation of fireplaces and chimneys;
- (e) any services including building, engineering (electronic), fire and smoke detection or mechanical;
- (f) any swimming pools and associated pool equipment or spa baths and spa equipment or the like;

- (g) any appliances such as dishwashers, insinkerator, ovens, stoves and ducted vacuum systems (although most fixed appliances such as stoves, AC units etc are turned on to see if they appear operational);
- (h) a review of occupational, health or safety issues such as asbestos content, or the provision of safety glass or swimming pool fencing;
- (i) whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws; and
- (j) whether the ground on which the building rests has been filled, is liable to subside, is subject to landslip, earthquakes or tidal inundation, or if it is flood prone.

Any of the above matters may be the subject of a Special-Purpose Inspection Report which is adequately specified and undertaken by an appropriately qualified inspector.

Access: This report is limited to a visual inspection which only covered the Readily Accessible Areas of the Building and Site that safe and reasonable access was permitted at the time of inspection.

Note: If the property inspected is part of a Strata or Company Title, then the inspection is limited to the interior and the immediate exterior of the particular residence to be inspected. It does not cover the common property. Purchasers should be aware that their liability for the cost of repairing building defects and Timber pest attack is not restricted only to the particular unit that is being purchased, but may include contribution to the whole of the common property. This additional liability can only be addressed through the undertaking of a Special-Purpose Inspection Report which is adequately specified. Seek further advice from your Consultant.

The Australian Standards AS4349.1 defines reasonable access as *"areas where safe, unobstructed access is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers."*

Accessible areas which can be accessed by a 3.6 metre ladder or those which have at least 600mm unimpeded vertical and horizontal clearance without the removal of any fixed or unfixed furniture, fittings, stored items, cladding or lining materials, plants or soil. Inspectors are unable to inspect areas higher than 3.0 m above ground level unless secure ladder access is available and fall prevention devices or barriers are present. Roof Interior & Sub-Floor Access openings are required to be 400x500 mm & Crawl Space are required to be 600x600mm. The term also includes accessible subfloor areas on a sloping site where the minimum clearance is not less than 150 mm high, provided that the area is not more than 2 metres from a point with conforming clearance (i.e. 400 mm high by 600 mm wide).

Inspectors are unable to access areas where there is a risk of adverse disturbance or damage to the vendor's property, including the garden area. The extent of accessible areas will be determined by the inspector at the time of the inspection. Workplace Health and Safety access conditions apply subject to relevant State and Territory regulations.

Reasonable access does not include the use of destructive or invasive inspection methods nor does it include cutting or making access traps or moving heavy furniture, floor coverings or stored goods. Probing or removal of material requires the owner's consent and beyond the scope of this report and constitutes a special inspection as set out in AS4349.1 and may require the involvement of special consultants and your legal advisor.

Therefore the inspection does not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.

Summary: The summary is supplied to allow a quick overview of the inspection results. A summary is NOT the report and cannot be relied upon on its own. A summary must be read in conjunction with the full report and not in isolation. If there should happen to be any discrepancy between anything in the report and anything in this summary, the information in the report shall override that in this summary.

BUILDING INSPECTION

INSPECTION SUMMARY

In respect of Major and/or Minor defects:

Evidence of MAJOR DEFECTS -	Yes
Are any MAJOR DEFECTS considered to rectify at earliest possible time -	Yes
Are any/all MAJOR DEFECTS potentially considered uneconomically feasible to manage -	Yes
Evidence of MINOR DEFECTS -	Yes
Are the amount of MINOR DEFECTS considered more than for the type and context –	Yes
Are a number of MINOR DEFECTS considered require action to minimise further deterioration –	Yes
Are the majority of MINOR DEFECTS considered actionable by unskilled or semiskilled labour -	No

BUILDING DEFINITIONS

Primary Elements means those parts of the building providing the basic load bearing capacity to the Structure, such as foundations, footings, floor framing, and load bearing walls, beams or columns. The term "Primary Elements" also includes other structural building elements including those that provide a level of personal protection such as handrails; floor-to-floor access such as stairways; and the structural flooring of the building such as floorboards.

Defect – Fault or deviation from the intended condition of a material, assembly, or component.

Major defect (xx) – The Australian Standard 4349.1 defines a Major Defect as: "A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property". Including **Structural defect**.

In addition, **QLD Building Services Authority** defines a major defect as: **Category 1** defective building work that is faulty or unsatisfactory because it does one or more of the following:

- (a) adversely affects the structural performance of a building;
- (b) adversely affects the health or safety of persons residing in or occupying a building;
- (c) adversely affects the functional use of a building;
- (d) allows water penetration into a building.

Minor defect (x) – A defect other than a major defect, and includes:

Appearance Defects: Where in the inspector's opinion the extent of physical deterioration of building elements and services, including the decline in operational effectiveness, aesthetic appearance and general presentation is *below that of compared to the accepted standards appropriate to the building elements and services*.

Serviceability Defect: Fault or deviation from the intended serviceability performance of a building element, or where in the Inspector's opinion the expected consequence is unknown until further information is obtained.

Observation (O) – The Inspector may make comment of any item that a Client may consider questionable regarding its condition and is for the purposes of clarification only.

Reasonable condition – (AOK) In the opinion of the Inspector the building element is in a condition which is typical to the type, and in comparison of similar age and type of construction.

Action Recommended - AR To dissuade further (premature) deterioration of the element or property.

No Action Recommended - NAR As the items deterioration is benign, impractical to action, or subject to normal processes.

ACCESSABILITY The inspection covered the following Readily Accessible Areas including:

R - Reasonably Accessible **P** - Partially Accessible **N** - Not Accessible **UT** - Untested Services & Fittings Check

The Site	R	Building Exterior	R	Roof Exterior	R	Subfloor Space	N/A
Outbuildings	N/A	Building Interior	R	Roof Interior	R	Services	R
Comments:	N/A						

KEY				
Element	Condition	Comments	Action	Photo

SITE				
Fencing	X	1, Areas of spot rot to front timber infill fencing; 2. heavy aging and rot to lhs timber fencing (Photo 1 recommend trim bases, fix posts bases to steel stirrups & repaint) and 3, moderate cracking across rear block work fencing should may last medium term before demolition. (Photo 2 note the cracking has returned since last repaint suggesting unstable conditions	AR	1 / 2
Retaining walls	n/a			
Driveway	X	Moderate cracking and lifting to concrete slab driveway and garage slab- Stable for medium term.	NAR	3
Paving/Decking	X	Lift movement to paving to rear and typical concrete cracking.	NAR	
Surface drainage	X	Heavy areas of over land flow falling to entire building perimeter - Photo 4 is lhs of building with heavy rutting of surface water causing high moisture content/rising damp contributing to heavy spot fretting to brickwork in areas; Photo 5 depicts ponding to rear of building. All has led to causing differential settlement i.e. the rear extension appears to have sunk; and cracking brickwork to lhs. Refer notes on Superstructure All surface water requires capturing and diverting away from building perimeter.	AR	4 / 5
Garage/Carport	X	1, Cracking slab base (as noted Photo 3), 2, aging and deteriorating finishes generally and 3, (Photo 6) missing gutter and 10% loose roof sheeting requiring re-fixing).	AR	6
Isolated structures	X	Cubby house structure is not tied down to ground and may move under heavy wind.	NAR	
Water Tanks	n/a			
Pool Fence	X	Recommend carrying out repairs to gate (not self-closing at present) and review to comply with current pool fence compliance requirements.	AR	

ROOF				
Roof covering	X	Extensive area of finish deterioration and damage from foot traffic to soft metal tiles- Generally cosmetic concern only.	NAR	7
Flashing & Valleys	X	Heavy ponding and repairs carried out to chimney flashing with noticeable spot leaking to interior of roof void and salting to brick face over fireplace internally-Periodically review flashing	AR	8 / 9
Penetrations	AOK			
Skylights	AOK			
Solar panels	n/a			
Solar HWS	n/a			
Vents	AOK			
Ancillary fittings	AOK			
Eaves & soffit	X	Typical light weathering to painted and timber finishes.	AR	
Gutters/Downpipe	X	1, Variable debris, rusting and leaks generally- Clean and treat. 2, downpipe and field gully to front rhs appears to have blocked at ground level and is rising out the grate causing ponding to building perimeter	AR	10
Chimney	X	Refer note on flashings	AR	

SUPER-STRUCTURE				
Wall Structure	XX	1. Rear extension has suffered differential settlement as noted in cracking brickwork (Photo 10) and level changes to bricks mortar lines and roof not depicted in photos; 2. Heavy fretting -Photo 11 typical to 10% of brickwork overall to lower level bricks and mortar. Fretting is due to high soil / brick moisture and salt content with the salt crystals inside the masonry expanding leading to the bricks and or mortar fretting. Minimise future cracking and fretting by installing effective drainage as a minimum.	AR	11 / 12
Cladding/Finish	X	Typical light weathering to painted and timber finishes generally- (refer photo 7)	AR	
Veranda Floor/Frame	AOK		NAR	

& Stairs				
Columns/Posts	X	Heavy rusting to base of Patio post	AR	13
Balustrades	X	Light hairline brick cracking to balustrade.	NAR	
Doors/frames	X	Typical light weathering to painted and timber finishes.	NAR	
Windows/frames	AOK			
Screens	AOK			
Other				

SUB-STRUCTURE				
Exposed footings	n/a			
Foundation walls	n/a			
Stumps/Piers	n/a			
Floor Framing	n/a			
Ant capping	n/a			
Sub-floor drainage	n/a			
Ventilation	n/a			
Services	n/a			

INTERIOR				
Floor structure	X	Notes extensive drummy tiles and variable tile cracking to areas including old/new slab joints- The photo depicts cracking to Bed1 area (new area) appears due to slab movement/heaving.	AR	14
Floor finish	X	Refer above		
Staircase	n/a			
Wall structure/finish	XX	Apart from extensive spot 'aging' damage to walls and ceiling innings cornices due to structural movement over time, there is noticeable termite infestation to the Laundry/Linen area and beyond. It has reached to roof framing. Areas require progressive invasive inspection to determine extent of infestation (which may be localised to Laundry/Linen & Bathroom) and to scope full structural and lining damage and rectification costs. Also other area of spot damage with undetermined cause. Refer Pest Report.	AR	15/16
Ceiling finish	XX	Noted areas of framing movement causing cornice defects. Considered due to slab heaving from excessive ground moisture levels.	AR	17/18
Doors/Frames	X	General aging and damage.	NAR	
Roof frame	XX	Refer previous on Wall	AR	
Roof void leaks	X	Refer note on Chimney flashing	AR	
Services	AOK		NAR	
Insulation	AOK	Note: Visual inspection to roof void is generally limited due to 'on ceiling' insulation installation. Note: It is not foil insulation.	AR	

FITOUT (fixtures & fittings)				
Cabinets/Bench top	AOK			
Robe/Built-ins	X	Unfinished detailing (trims & painting) to areas.	NAR	
Sinks	AOK		NAR	
Tap ware	AOK			
Oven	AOK			
Stovetop	AOK			
Range hood	n/a			
Dishwasher	UT			
Bath/Basins	AOK			
Shower	AOK			
Exhaust fans	n/a			
Pan/cistern	AOK			
Spa	AOK			
Laundry tub	AOK			

SERVICES				
Switchboard	AOK		NAR	
Safety Switch	AOK	Recommend 'flicking' safety switch on/off for testing monthly.	AR	

Smoke detectors	O	Note: The Inspector cannot comment on the installation/testing requirements of smoke detectors as this is a specialist safety critical task that is not within the scope of this inspection and report.	AR	
Air conditioning	AOK		NAR	
Security system	U/T		AR	
Intercom.	n/a			
Hot Water System	AOK	Refer to manufacture's maintenance requirements.	AR	

PHOTOGRAPHS



Photo 1 – Rot to batten bases and posts



Photo 2 – Returned cracking to brick base



Photo 3 – Moderate movement cacking



Photo 4 – Moss/staining to base of wall.



Photo 5 – Surface water scouring.



Photo 6 – General finish deterioration

PHOTOGRAPHS



Photo 7 Pebble finish lifting and foot traffic damage



Photo 8- Re-patching to chimney flashing



Photo 9- Moisture effervescence to bricks.

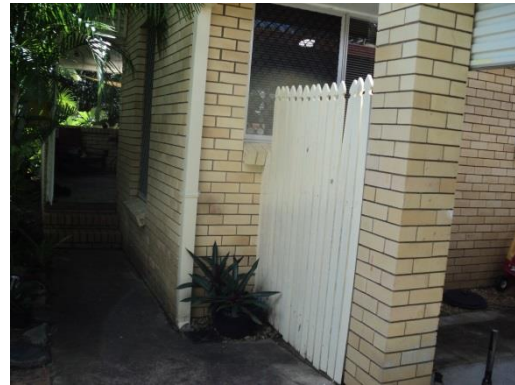


Photo 10- Gutter water ponds to front entry.



Photo 11- Spot fretting of brickwork

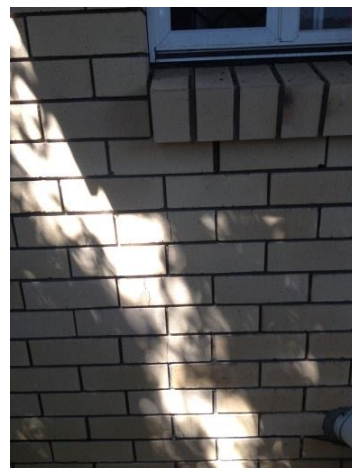


Photo 12- 'Opening' cracking brickwork due to settlement.

PHOTOGRAPHS



Photo 13- Heavy rusting at base



Photo 14 – Multiple split tiles due to slab cracking



Photo 15- Fully destroyed ceiling battens



Photo 16- Further 'workings' evidence



Photo 17 – Typical 'tearing' of joints due to slab and framing movement.



Photo 18– Typical 'tearing' of joints due to slab and framing movement.

ATTACHMENTS Which form an important part of the Inspection Information

HOME MAINTENANCE MANUAL	<input checked="" type="checkbox"/>	PEST MANAGEMENT NOTES	<input checked="" type="checkbox"/>	SPECIALIST REPORT RECOMMENDATIONS	<input type="checkbox"/>	CRACKING IN BRICKWORK	<input checked="" type="checkbox"/>
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